



# BUILDING PERMIT APPLICATION

FOR: A DECK

This package includes:

- A Development Permit Application for the Town.
- Professional Building Inspections Fillable Material.
- An Application for a Building Permit for the Town.
- Town's Permitted Yard Encroachment Information.

**APPENDIX C: TOWN OF BALGONIE APPLICATION FOR A DEVELOPMENT PERMIT**

**1. Applicant:**

a) Name: \_\_\_\_\_

b) Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_

c) Telephone Number: \_\_\_\_\_ Cell phone: \_\_\_\_\_

**2. Registered Owner: as above, or:**

a) Name: \_\_\_\_\_

b) Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_

c) Telephone Number: \_\_\_\_\_ Cell phone: \_\_\_\_\_

**3. Property: Legal Description**

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Reg. Plan No. \_\_\_\_\_

Address \_\_\_\_\_

**4. Lot Size:**

Dimensions \_\_\_\_\_ Area \_\_\_\_\_

**5. Existing Land Use:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**6. Proposed Land Use/description of Proposed Development:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**7. Proposed date of Commencement: \_\_\_\_\_**

Proposed date of Completion: \_\_\_\_\_

**8. Other Information:**

\_\_\_\_\_  
\_\_\_\_\_

9. **FOR NEW CONSTRUCTION PROVIDE A DETAILED SITE PLAN**, drawn to scale on a separate sheet showing, with labels, the following existing and proposed information:

- a) a scale and north arrow;
- b) a legal description of the site;
- c) mailing address of owner or owner's representative;
- d) site lines;
- e) Bylaw site line setbacks;
- f) front, rear, and side yard requirements;
- g) site topography and special site conditions (which may require a contour map), including ponds, streams, other drainage runs, culverts, ditches, and any other drainage features;
- h) the location of any buildings, structures, easements, and distance to the site lines;
- i) the location and size of trees and other vegetation, especially natural vegetation, street trees, and mature growth;
- j) utility poles, wires, fire hydrants, underground utilities;
- k) proposed on-site and off-site services;
- l) landscaping and other physical site features;
- m) a dimensioned layout of parking areas, entrances, and exits, vehicle circulation and any loading spaces;
- n) abutting roads and streets, including service roads and alleys;
- o) an outline, to scale, of adjacent buildings on adjoining sites;
- p) the use of adjacent buildings and any windows overlooking the new proposal;
- q) fencing or other suitable screening;
- r) garbage and outdoor storage areas; and
- s) other, as required by the Development Officer or Council to effectively administer this Bylaw.

*Complete PBI's Site Plan Instead.*

10. **Mobile Homes:** C.S.A.Z240 Approval Number (from Black and Silver Sticker)

Mobile Home date of Manufacture: \_\_\_\_\_

11. **Modular:** C.S.A. Z277 Approval Number (from Black and Silver Sticker)

Modular date of Manufacture: \_\_\_\_\_

12. **Declaration of Applicant:**

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the Province of Saskatchewan, do Solemnly declare that the above statements contained within the application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath, and by virtue of "The Canada Evidence Act."

I agree to indemnify and hold harmless the Town of Balgonie from and against any claims, demands, liabilities, costs and damages elated to the development undertaken pursuant to this application.

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

## Residential Plan Review Checklist

Box 517 Stn. Main  
White City, SK S4L5B1  
Ph: 306-536-1799  
Fax: 306-781-2112  
office@pro-inspections.ca

### Project Information

<b>Municipality:</b> _____  <b>Job Site Address:</b> _____  <b>Owner's Name:</b> _____	<b>PBI Number:</b> 23- _____  <b>Project Type:</b> _____  <b>Cell Phone:</b> _____
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### Residential Project Type

REQUIRED for a Plan Review	New Dwelling / Housing Unit	RTM / Modular / Post-Move	Mobile (Manufactured) Home	Addition / Living Space / Sec. Suite	Renovation (structural or egress)	Basement Development	Deck (not covered or enclosed)	* Attached Garage (unheated)	* Det Garage / Acc. Bldg. (unheated)	* Pole Building (unheated)	Retaining Wall (if collapse affects a structure)	Foundation Replacement	Solar Panels (PV or Hot Water)	Storage only - no living space & unheated
<p>Provide <b>designs and required documents in PDF format</b> as indicated by the unshaded boxes for the project (shaded box means not required).</p> <p>A plan review must be completed by PBI <u>before</u> a building permit is issued.</p> <p style="color: red;">E-mail plans and documents in PDF format to the <u>municipal office</u>.</p> <p><i>Requirements may vary for unique or larger projects. Please consult with PBI.</i></p>														
<b>Site Plan</b> (e.g. lot size & shape; indicate North; project size on lot, distance to all property lines, indicate what borders each property line, label streets, etc.)														
<b>Building Plans</b> (e.g. floor plans, exterior elevations, cross sections, structural details, window & door types, sizes & locations, stair configurations, material lists, specs, etc.)														
<b>Energy Code Forms</b> (applicable to compliance option, code edition & climate zone)														
<b>Building Designs stamped by an engineer</b> (project specific for <u>intended use</u> *)														
<b>Foundation Designs stamped by a structural engineer</b> (site specific)														
<b>Geotechnical Report</b> (if required by zoning bylaws or engineer recommendation)														
<b>PBI Specifications sheet</b> (plus all information requested in the sheets)														
<b>Information Below is Required BEFORE THE FRAMING INSPECTION</b>														
<b>Engineer-stamped roof truss designs &amp; layouts</b> (NBC compliant)														
<b>Engineer-stamped floor truss and/or LVL designs &amp; layouts</b>														
<b>Fireplace or Wood Stove Manufacturer Specifications</b>														
<b>Residential Mechanical Ventilation Design Summary</b>														

<p><b>* Pole Building</b> (Please detail intended use. Note if vehicles will be repaired in the building, if building is for personal or business use, etc.)</p>   
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<b>Signature:</b> _____	<b>Date:</b> _____
<p>* I declare that I am the owner of this property, and I will notify PBI of any email changes if applicable.</p> <p>* Please note that failure to receive an emailed report or related documents does not release the property owner (s) from their responsibility to comply in all regards with the building standards (Saskatchewan Construction Code Act, Municipal Building Bylaws, and National Building Code of Canada).</p>	

## Residential Permit Information Form (PIF)

### Municipal Office Use Only

Municipality: _____ Development Approved: <input type="checkbox"/> Yes <input type="checkbox"/> No Geotech Required: <input type="checkbox"/> Yes <input type="checkbox"/> No Municipal Official: _____	Date: _____ PBI Number: 23- _____ Permit Expiry Date: _____ Signature: _____
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### Information Below To Be Completed By The Applicant

#### Contact & Email Consent

Building Owner: _____ Mailing Address: _____ Email Address Owner: _____	Home Phone: _____ Cell Phone: _____
Contractor: _____ Contact Person: _____ Email Address Contractor: _____	Business: _____ Cell Phone: _____
Signature: _____	Date: _____

\* I declare that I am the owner of this property, and I will notify PBI of any email changes if applicable.  
 \* By signing above, I consent to email delivery to all named above of PBI reports and related documents pertaining to this building permit.  
 \* Please note that failure to receive an emailed report or related documents does not release the property owner (s) from their responsibility to comply in all regards with the building standards (Saskatchewan Construction Code Act, Municipal Building Bylaws, and National Building Code of Canada).  
 \* **Note that owners should always include themselves on this form.**

#### Jobsite Location

Civic Address: _____ Legal Land Location: _____ Lot(s) _____ Block _____ Plane No _____ or: _____ Quarter Section _____ Township _____ Range _____ Meridian _____ Description: _____ Subdivision / Landmark: _____	
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#### Project Details

<b>* Please fill in Sections 1a) plus 1b), or just Section 2)</b>	
1a)	<b>Single Family Dwelling</b> (Select One Permit Type That Best Describes the Dwelling) <input type="checkbox"/> New Home <input type="checkbox"/> RTM <input type="checkbox"/> Post-Move <input type="checkbox"/> Modular Home <input type="checkbox"/> Duplex Unit
1b)	<b>Select Below ALL that Pertain to this Permit AND are included with the plans submitted to PBI for Review:</b> <input type="checkbox"/> Basement Development <input type="checkbox"/> Deck <input type="checkbox"/> Attached Garage (Insulated) <input type="checkbox"/> Attached Garage (Not Insulated)
2)	<b>Residential Building Project</b> (Separate Permit is Required for Each Project type) <input type="checkbox"/> Addition <input type="checkbox"/> Attached Garage <input type="checkbox"/> Deck <input type="checkbox"/> Basement Development <input type="checkbox"/> Renovation <input type="checkbox"/> Roof Extension <input type="checkbox"/> Sunroom <input type="checkbox"/> Secondary Suite <input type="checkbox"/> Detached Garage <input type="checkbox"/> Accessory Building <input type="checkbox"/> Accessory Building w/Living <input type="checkbox"/> Pole Building <input type="checkbox"/> Boat House <input type="checkbox"/> New Foundation <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Demolition

This document must be submitted to PBI by the municipal office



## Property Owner

Please complete, print, sign, scan to PDF, and submit this form with your plan review documents.

Municipality: Balgonic Permit #: \_\_\_\_\_  
 Jobsite Address: \_\_\_\_\_  
 Owner's Name: \_\_\_\_\_ Cell Ph: \_\_\_\_\_  
 Contractor Name: \_\_\_\_\_ Cell Ph: \_\_\_\_\_

## E-MAIL CONSENT FORM

Consent to the e-mail delivery of PBI reports and related documents pertaining to this building permit is given to the following individuals involved in the construction project:

Title (e.g. Owner, Contractor, Engineer)	Individual's Name	E-mail Address
Owner		

- Please note that failure to receive an e-mailed report or related document does not release the property owner(s) from responsibility to comply in all regards with the building standards (Saskatchewan Uniform Building and Accessibility Standards Act and regulations, municipal building bylaws, and the National Building Code of Canada).
- I declare that **I am the owner of this property** and I will notify PBI if there are any changes to the e-mail contacts listed above who are permitted to receive reports.

Owner Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# DECK / SUNROOM

## Deck

- **Deck – PBI Specifications** sheet
- **Site Plan** (see requirements in the PBI Specifications sheet)
- **Deck Plan Layout** (see page 2 of the PBI Specifications sheet for an example)
- If column height is more than 1.8 m (6'), or if building a roof over the deck, then a project-specific, engineer-stamped foundation design is required.
- If building a roof over the deck and using trusses, then an engineer-stamped roof truss design is required.
- If building an enclosure around the deck, then provide framing details or manufacturer's specifications.

# Deck - PBI Specifications

Owner Name: \_\_\_\_\_  
Owner: (Cell) (306) \_\_\_\_\_ (H) (306) \_\_\_\_\_

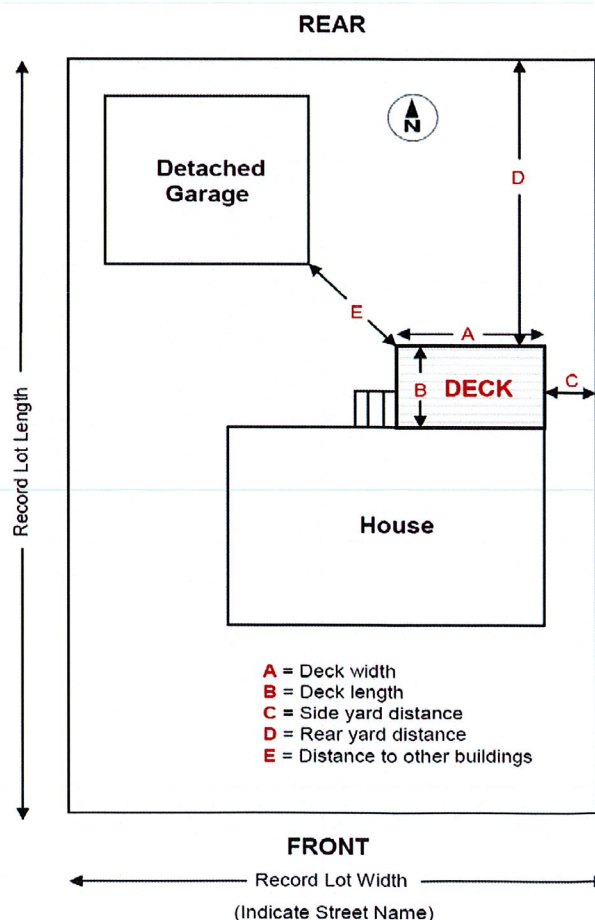
Municipality: Balgownie  
Jobsite Address: \_\_\_\_\_

## (1) Provide a SITE PLAN sketch below or on a separate sheet and note the following:

- ☐ Draw the **property (lot) shape** (rectangular, pie-shape, etc.)
- ☐ Indicate the **North** direction.
- ☐ Note the **lot dimensions** (indicate ft or m): Front/Rear (width) / Side Yard (length)
- ☐ Label the **street/road name** in the front yard.
- ☐ Note what **borders the property** on each side (lane, neighbour, street, park, etc.)
- ☐ Draw the **house** on the lot (to scale)
- ☐ Draw the **size, shape & location of deck** on the lot (to scale), **including stairs**.
- ☐ Note the **deck dimensions** (ft or m) - (A) Width (rear facing) / (B) Length (side facing)
- ☐ Note the **distance** of the deck to the side (C) and rear (D) **property lines** (ft or m)
- ☐ Draw any **other buildings** on the same lot (e.g. detached garage, shed, etc.)
- ☐ Note the closest **distance** of the deck to **other buildings** (E) on the same property.
- ☐ Show the **direction of decking material** (horizontal, diagonal, etc.)

### My Site Plan

### Site Plan Example



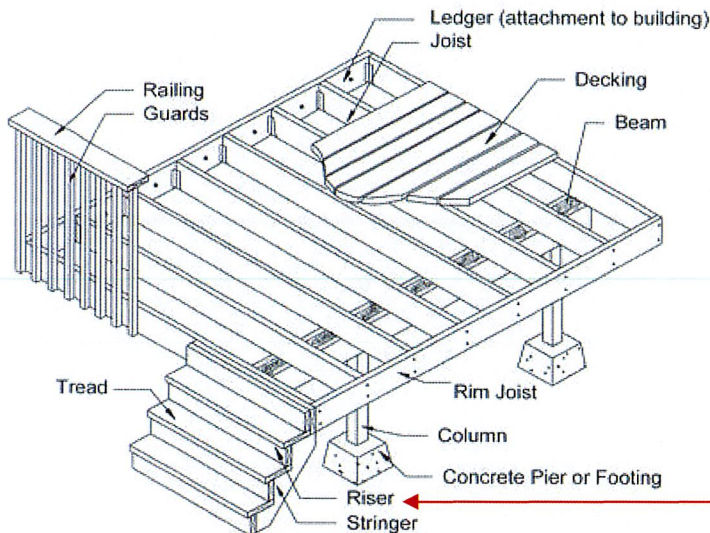
Please call PBI at (306) 536-1799 if you have any questions.



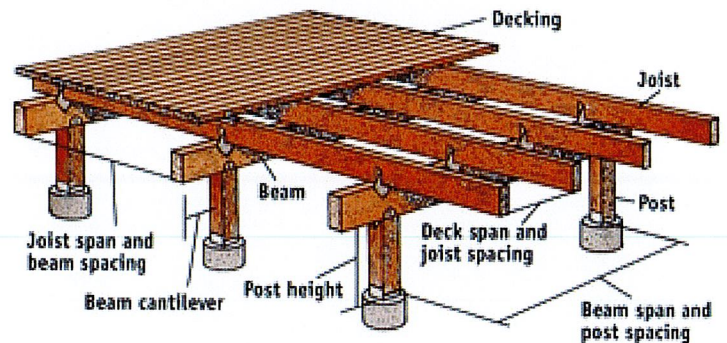
**(2) Provide a SKETCH of the deck plan on a separate sheet, indicating:**

- ☐ Dimensions of deck (**length, width, and height** above ground)
- ☐ Label **ledger** board location
- ☐ Direction of **joists** (note joist size, spacing and span)
- ☐ Size of **joist cantilever** (length of joist overhang past beam)
- ☐ Location of **columns** (note column size and spacing)
- ☐ **Foundation** type supporting columns (note type, size, and depth)
- ☐ Direction of **beams** (note beam size and number of plies)
- ☐ Location and width of **stairs** (minimum stair width must be 36")
- ☐ Number of stair **risers** and riser height (rise must be between 5" to 7-7/8" high and be of uniform size for all steps)
- ☐ Width ("run") of stair **treads** (tread must be between 10" - 14" wide and be of uniform size for all steps)
- ☐ Height of **guards** (minimum guard height is 36" with no openings larger than 4". Guards may be required on both sides of stairs.)
- ☐ Direction of **decking** (note decking type and thickness)

**Summary of Terms:**



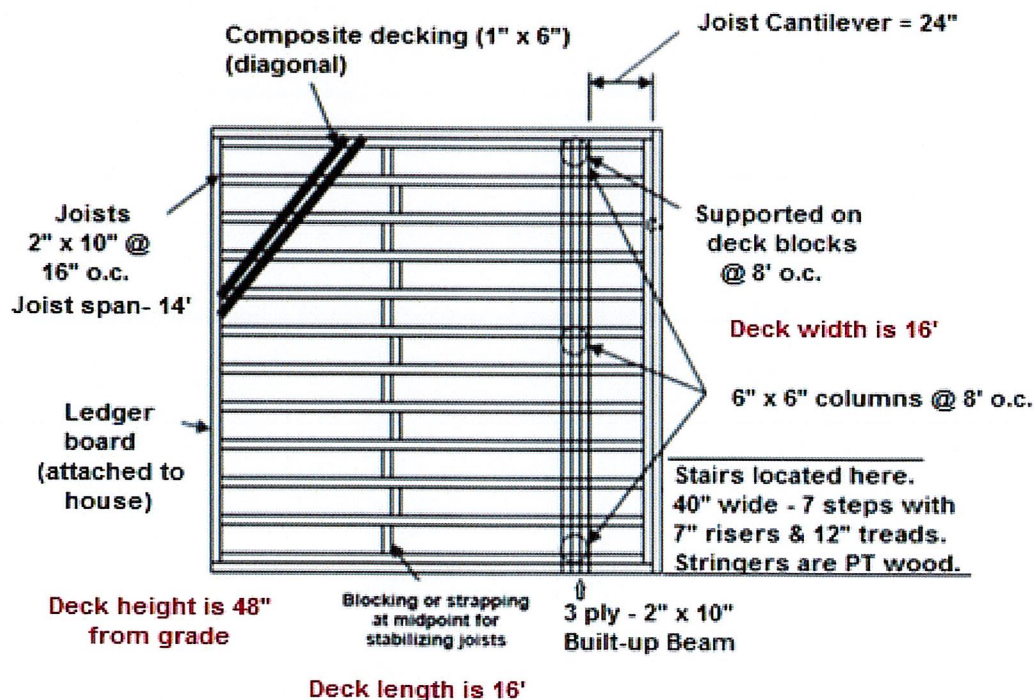
**How to Measure Distances:**



**\* Note:** Wall and/or guards are required on both sides of the stairs if there are 4 or more risers.

**Below is an example of how to draw and label your deck plan.** ☐ Include all information requested above.

**\*\*\* Also complete the checklist on page 3 and submit with your deck plan.**



Owner Name: \_\_\_\_\_

Municipality: Balgownie

Owner: (Cell) (306) \_\_\_\_\_ (H) (306) \_\_\_\_\_

Jobsite Address: \_\_\_\_\_

### (3) Complete ALL information below and submit with your deck plan:

#### Support:

- ☐ Attached to dwelling or other building (ledger board)  
☐ Detached

#### Walking Surface Height Above Grade/Ground:

- ☐ 24" or less (No guards or stair handrails required)  
☐ 24.1" - 72" (36" high guards and stair handrails required)  
☐ Over 72" (42" high guards, stair handrails and piles required)  
☐ Over 13'-9"

#### Clearance from Deck to Overhead Wires:

\_\_\_\_\_ feet (from walking surface to wires)

#### Joist Size:

- ☐ 2" x 6"  
☐ 2" x 8"  
☐ 2" x 10"  
☐ 2" x 12"

#### Joist Spacing:

- ☐ @ 12" o.c.  
☐ @ 16" o.c.  
☐ @ 24" o.c.

#### Joist Span: (Beam Spacing)

(Distance between beams or house to beam)

- ☐ Up to 8 ft. ☐ 14' - 16'  
☐ 8' - 10' ☐ 16' - 18'  
☐ 10' - 12' ☐ 18' - 20'  
☐ 12' - 14' ☐ Over 20 ft - see Span Table

Deck Joist - Sizing Table			
Joist Span	@ 12" oc	@ 16" oc	@ 24" oc
Up to 8'	2"x 6"	2"x 6"	2"x 6"
8' - 10'	2"x 6"	2"x 6"	2"x 8"
10' - 12'	2"x 8"	2"x 8"	2"x 8"
12' - 14'	2"x 8"	2"x 10"	2"x 10"
14' - 16'	2"x 10"	2"x 10"	2"x 12"
16' - 18'	2"x 12"	2"x 12"	
18' - 20'	2"x 12"		
Over 20' see span table			

#### Joist Cantilever: (joist overhang distance past beam)

\_\_\_\_\_ inches

#### Column (Post) Size:

- ☐ 2" x 6" ☐ 2 ply  
☐ 2" x 8" ☐ 3 ply  
☐ 2" x 10" ☐ 4 ply  
☐ 2" x 12" ☐ 5 ply  
☐ 4" x 4" ☐ 6" x 6"  
☐ Steel telepost  
☐ Other: \_\_\_\_\_

#### Column (Post) Height:

- ☐ Less than 24"  
☐ 24" - 48"  
☐ 48" - 72"  
☐ Over 72" (requires piles for foundation support)

#### Foundation Support: (NBC 9.12.2.2. & 9.23.6.2.)

- ☐ Deck blocks / pier blocks  
☐ Concrete pad: Length: \_\_\_\_\_ x Width: \_\_\_\_\_  
Concrete pad: Thickness: \_\_\_\_\_  
☐ Concrete piles: Diameter: \_\_\_\_\_ Depth: \_\_\_\_\_  
☐ Screw piles: Helical Size: \_\_\_\_\_ Depth: \_\_\_\_\_  
☐ Other: \_\_\_\_\_  
☐ Adjustment provided to relevel deck. Indicate how: \_\_\_\_\_

#### Beam Size:

- ☐ 2" x 6"  
☐ 2" x 8"  
☐ 2" x 10"  
☐ 2" x 12"  
☐ Other: \_\_\_\_\_

#### No. of Plies

- ☐ 2 ply  
☐ 3 ply  
☐ 4 ply  
☐ 5 ply

#### Beam Span: (Column Spacing)

(Distance between columns supporting beams)

- ☐ Less than 6' ☐ 10' - 11'  
☐ 6' - 8' span ☐ 11' - 12'  
☐ 8' - 9' ☐ 12' - 13'  
☐ 9' - 10' ☐ 13' - 14'  
☐ Other: \_\_\_\_\_

#### Beam Cantilever: (beam overhang distance past column)

\_\_\_\_\_ inches

#### Decking Material Type:

- ☐ Wooden Deck Boards (Treated or Cedar)  
☐ Composite  
☐ Vinyl  
☐ Other: \_\_\_\_\_

#### Stair Stringers Made of:

- ☐ Pressure Treated Lumber  
☐ Metal  
☐ Other: \_\_\_\_\_

#### Number of Stair Risers:

- ☐ 0 - 3 ☐ 4 - 9 ☐ 10 or more

#### Building Roof Over Deck?

- ☐ No  
☐ Yes-Trusses (Engineer foundation & roof truss designs req'd.)  
☐ Yes-Rafters (Engineer foundation designs are required.)

#### Deck Enclosure? (If yes, indicate if insulated or not)

- ☐ No  
☐ Yes - Wood frame enclosure  
☐ Yes - Manufactured sunroom enclosure  
☐ Insulated ☐ Not insulated



## TOWN OF BALGONIE

## APPLICATION FOR BUILDING PERMIT

I hereby make application for a permit to \_\_\_\_\_ construct \_\_\_\_\_ alter or \_\_\_\_\_ reconstruct a building according to the information below and to the plans and documents attached to this application.

Civic address or location of work \_\_\_\_\_

Legal description - Lot \_\_\_\_\_, Block \_\_\_\_\_, Plan \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_

Designer \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_

Contractor \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_

Nature of work \_\_\_\_\_

Intended use of building \_\_\_\_\_

Size of building \_\_\_\_\_, Length \_\_\_\_\_, Width \_\_\_\_\_, Height \_\_\_\_\_

Storeys – No. \_\_\_\_\_ Fire Escapes \_\_\_\_\_

If public building, state width of stairways \_\_\_\_\_ No. \_\_\_\_\_

Width of exits \_\_\_\_\_ No. \_\_\_\_\_

Foundation Soil Classification and Type \_\_\_\_\_

## Construction details:

Footings \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Foundations \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Exterior Walls \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Roof \_\_\_\_\_ Material \_\_\_\_\_ Size \_\_\_\_\_

Studding \_\_\_\_\_ Material \_\_\_\_\_ Spacing \_\_\_\_\_

Floor Joists \_\_\_\_\_ Material \_\_\_\_\_ Spacing \_\_\_\_\_

Girders \_\_\_\_\_ Material \_\_\_\_\_ Spacing \_\_\_\_\_

Rafters \_\_\_\_\_ Material \_\_\_\_\_ Spacing \_\_\_\_\_

Chimneys \_\_\_\_\_ No. \_\_\_\_\_ Size \_\_\_\_\_

Material \_\_\_\_\_ Thickness \_\_\_\_\_

Heating \_\_\_\_\_ Lighting \_\_\_\_\_ Plumbing \_\_\_\_\_

Estimated cost of construction (excluding site) \$ \_\_\_\_\_ **(must be filled in)**

Building area (area of largest storey) \_\_\_\_\_ square metres/feet

Fee for building permit \$ \_\_\_\_\_

I hereby agree to comply with the Building Bylaw of the municipality respecting building and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw of the municipality and applicable Acts and regulations regardless of any review of drawings or inspections that may or may not be carried out the municipality or its authorized representative.

\_\_\_\_\_  
Signature of Owner or Agent

\_\_\_\_\_  
Print Name of Owner or Agent

\_\_\_\_\_  
Date

#### 4.6 Frontage for Irregular Sites

Where the site frontage is along a cul-de-sac, curve or is irregular, the minimum site frontage shall be 11.0 metres (36.09 feet) and the mean site width shall not be less than the minimum frontage for regular sites in the same Zoning District.

#### 4.7 Permitted Yard Encroachments

Where minimum front, side or rear yards are required in any zoning district, the following yard encroachments shall be permitted.

- a) Uncovered and open balconies, terraces, verandas, decks, and patios having a maximum projection from the main wall of 1.8 metres (5.91 feet) into any required front or rear yard.
- b) Window sills, roof overhangs, eaves, gutters, bay windows, chimneys, and similar alterations projecting a distance of 0.6 metres (1.99 feet) into any required yard.

#### 4.8 Restoration to a Safe Condition

Nothing in this Bylaw shall prevent the structural improvement or restoration to a safe condition of any building or structure, provided that such structural improvement or restoration shall not increase the height, area or volume so as to contravene the provisions of this Bylaw.

#### 4.9 Grading and Leveling Of Sites

Every development shall be graded and leveled at the owner's expense to provide for adequate surface drainage that does not adversely affect adjacent property, or the stability of the land.

- a) All excavations or filling shall be re-vegetated immediately after other construction activities conclude, with a suitable ground cover as may be necessary to prevent erosion.
- b) All vegetation and debris in an area to be re-graded or filled must be removed from the site prior to site grading and leveling.
- c) All topsoil from an area that is to be re-graded must be stripped, stockpiled, and replaced on the re-graded area, or re-located to a site approved by Council.

#### 4.10 Restrictions on Changes

**4.10.1** The purpose for which any land or building is used shall not be changed, no new building or addition to any existing building shall be erected, and no land shall be severed from any site, if such change, erection or severance creates a situation that contravenes any of the provisions of this Bylaw applicable to each individual remaining building, accessory building, site, or lot.

**4.10.2** Notwithstanding the provisions of clause 4.10.1 of this subsection, no person shall be deemed to have contravened any provision of this bylaw if only part or