



# BUILDING PERMIT APPLICATION

FOR: DETACHED GARAGE/ACCESSORY BUILDING

This package includes:

- A Development Permit Application for the Town.
- Professional Building Inspections fillable material.
- An Application for a Building Permit for the Town.
- Town zoning requirements and setback information for the project.

Please fill out the information in its entirety and return it to the Town office. When your permit is approved, a fee will be required. Please call the office at (306) 771-2284 to be advised of the current rate.

**APPENDIX B: DEVELOPMENT PERMIT APPLICATION REQUIREMENTS**

Every development permit application shall include:

**1. Application Form**

A completed application form.

**2. Site Plan**

Three copies of a proposed development site plan drawn to scale showing, with labels, the following existing and proposed information (as the case may be):

- a) a scale and north arrow;
- b) a legal description of the site;
- c) mailing address of owner or owner's representative;
- d) site lines;
- e) Bylaw site line setbacks;
- f) front, rear, and side yard requirements;
- g) site topography and special site conditions (which may require a contour map), including ponds, streams, other drainage runs, culverts, ditches, and any other drainage features;
- h) the location of any buildings, structures, easements, and distance to the site lines;
- i) the location and size of trees and other vegetation, especially natural vegetation, street trees, and mature growth;
- j) utility poles, wires, fire hydrants, underground utilities;
- k) proposed on-site and off-site services;
- l) landscaping and other physical site features;
- m) a dimensioned layout of parking areas, entrances, and exits, vehicle circulation and any loading spaces;
- n) abutting roads and streets, including service roads and alleys;
- o) an outline, to scale, of adjacent buildings on adjoining sites;
- p) the use of adjacent buildings and any windows overlooking the new proposal;
- q) fencing or other suitable screening;
- r) garbage and outdoor storage areas;
- s) other, as required by the Development Officer or Council to effectively administer this Bylaw.

**3. Building Plan**

Three copies of scaled plans showing, with labels, the elevations, dimensioned floor plan, and a perspective drawing of the proposed development.

**4. Landscape Plan (Multi-Family Dwellings)**

A landscape plan showing, with labels, the following:

- a) the existing and proposed grades;
- b) the vegetation to be retained and/or removed;
- c) the type and layout of;

- i) hard (e.g., structures) and soft (e.g., vegetation) landscaping,
- ii) the open space system, screening, berms, slopes,
- iii) other, as required, to effectively administer this Bylaw,
- d) the types, sizes and numbers of vegetation materials;
- e) details of any proposed irrigation system, including the location of outside spigots;
- f) areas to be damaged or altered by construction activities and proposed methods of restoration;
- g) a schedule of site stripping and grading, construction, and site restoration, including methods to be employed to reduce or eliminate erosion by wind, water, or by other means; and
- h) historical and archaeological heritage resources and management areas (a Heritage Resource Assessment as prescribed under *The Heritage Property Act* may be required).

#### 5. Vicinity Map

A vicinity map showing, with labels, the location of the proposed development in relation to the following features within two miles:

- a) Nearby municipal roads, highways and railways;
- b) Significant physical features, environmentally sensitive areas, and more or less pristine natural areas or features, especially undisturbed grassland, wooded ravines, and water feature or stream courses;
- c) Critical wildlife habitat and management areas;
- d) Mineral extraction resources and management areas; and
- e) Other as required, to effectively administer this Bylaw.

#### 6. Certificate of Title

A copy of the Certificate of Title, indicating ownership and all encumbrances.

#### 7. Valid Interest

Development permit applicants shall be required to provide information, to the Development Officer's or Council's satisfaction, that they have a current, valid interest in the land proposed for development.

- a) Proof of current valid interest may include:
  - i) proof of ownership;
  - ii) an agreement for sale;
  - iii) an offer or option to purchase;
  - iv) a letter of purchase;
  - v) a lease for a period of more than 10 years;
  - vi) other, as determined and accepted by Council, or the Development Officer.

#### 8. Site Description

- a) A proposed plan of subdivision prepared by a Saskatchewan Land Surveyor or Professional Community Planner and signed by the registered site owner or appointed agent.
- b) A metes and bounds description prepared by the Information Services Corporation, which is accompanied by an accurate sketch.

- c) Photographic information.
- d) Photographs showing the site in its existing state.



## APPENDIX C: TOWN OF BALGONIE APPLICATION FOR A DEVELOPMENT PERMIT

**1. Applicant:**

a) Name: \_\_\_\_\_

b) Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_

c) Telephone Number: \_\_\_\_\_ Cell phone: \_\_\_\_\_

**2. Registered Owner: as above, or:**

a) Name: \_\_\_\_\_

b) Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_

c) Telephone Number: \_\_\_\_\_ Cell phone: \_\_\_\_\_

**3. Property: Legal Description**

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Reg. Plan No. \_\_\_\_\_

Address \_\_\_\_\_

**4. Lot Size:**

Dimensions \_\_\_\_\_ Area \_\_\_\_\_

**5. Existing Land Use:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**6. Proposed Land Use/description of Proposed Development:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**7. Proposed date of Commencement:** \_\_\_\_\_

**Proposed date of Completion:** \_\_\_\_\_

**8. Other Information:**

\_\_\_\_\_

\_\_\_\_\_

9. **FOR NEW CONSTRUCTION PROVIDE A DETAILED SITE PLAN**, drawn to scale on a separate sheet showing, with labels, the following existing and proposed information:
- a) a scale and north arrow;
  - b) a legal description of the site;
  - c) mailing address of owner or owner's representative;
  - d) site lines;
  - e) Bylaw site line setbacks;
  - f) front, rear, and side yard requirements;
  - g) site topography and special site conditions (which may require a contour map), including ponds, streams, other drainage runs, culverts, ditches, and any other drainage features;
  - h) the location of any buildings, structures, easements, and distance to the site lines;
  - i) the location and size of trees and other vegetation, especially natural vegetation, street trees, and mature growth;
  - j) utility poles, wires, fire hydrants, underground utilities;
  - k) proposed on-site and off-site services;
  - l) landscaping and other physical site features;
  - m) a dimensioned layout of parking areas, entrances, and exits, vehicle circulation and any loading spaces;
  - n) abutting roads and streets, including service roads and alleys;
  - o) an outline, to scale, of adjacent buildings on adjoining sites;
  - p) the use of adjacent buildings and any windows overlooking the new proposal;
  - q) fencing or other suitable screening;
  - r) garbage and outdoor storage areas; and
  - s) other, as required by the Development Officer or Council to effectively administer this Bylaw.

10. **Mobile Homes:** C.S.A.Z240 Approval Number (from Black and Silver Sticker)

Mobile Home date of Manufacture: \_\_\_\_\_

11. **Modular:** C.S.A. Z277 Approval Number (from Black and Silver Sticker)

Modular date of Manufacture: \_\_\_\_\_

12. **Declaration of Applicant:**

I, \_\_\_\_\_ of the \_\_\_\_\_ of \_\_\_\_\_ in the Province of Saskatchewan, do Solemnly declare that the above statements contained within the application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath, and by virtue of "The Canada Evidence Act."

I agree to indemnify and hold harmless the Town of Balgonie from and against any claims, demands, liabilities, costs and damages elated to the development undertaken pursuant to this application.

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

## Residential Plan Review Checklist

Box 517 Stn. Main  
White City, SK S4L5B1  
Ph: 306-536-1799  
Fax: 306-781-2112  
office@pro-inspections.ca

### Project Information

<b>Municipality:</b> _____  <b>Job Site Address:</b> _____  <b>Owner's Name:</b> _____	<b>PBI Number:</b> 23- _____  <b>Project Type:</b> _____  <b>Cell Phone:</b> _____
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### Residential Project Type

REQUIRED for a Plan Review															
Provide <b>designs and required documents in PDF format</b> as indicated by the unshaded boxes for the project (shaded box means not required).  A plan review must be completed by PBI <u>before</u> a building permit is issued.  <b>E-mail plans and documents in PDF format to the <u>municipal office</u>.</b>  <i>Requirements may vary for unique or larger projects. Please consult with PBI.</i>	New Dwelling / Housing Unit	RTM / Modular / Post-Move	Mobile (Manufactured) Home	Addition / Living Space / Sec. Suite	Renovation (structural or egress)	Basement Development	Deck (not covered or enclosed)	* Attached Garage (unheated)	* Det Garage / Acc. Bldg. (unheated)	* Pole Building (unheated)	Retaining Wall (if collapse affects a structure)	Foundation Replacement	Solar Panels (PV or Hot Water)	Storage only - no living space & unheated	
<b>Site Plan</b> (e.g. lot size & shape; indicate North; project size on lot, distance to all property lines, indicate what borders each property line, label streets, etc.)															
<b>Building Plans</b> (e.g. floor plans, exterior elevations, cross sections, structural details, window & door types, sizes & locations, stair configurations, material lists, specs, etc.)															
<b>Energy Code Forms</b> (applicable to compliance option, code edition & climate zone)															
<b>Building Designs stamped by an engineer</b> (project specific for <u>intended use</u> *)															
<b>Foundation Designs stamped by a structural engineer</b> (site specific)															
<b>Geotechnical Report</b> (if required by zoning bylaws or engineer recommendation)															
<b>PBI Specifications sheet</b> (plus all information requested in the sheets)															
<b>Information Below is Required BEFORE THE FRAMING INSPECTION</b>															
<b>Engineer-stamped roof truss designs &amp; layouts</b> (NBC compliant)															
<b>Engineer-stamped floor truss and/or LVL designs &amp; layouts</b>															
<b>Fireplace or Wood Stove Manufacturer Specifications</b>															
<b>Residential Mechanical Ventilation Design Summary</b>															

**\* Pole Building** (Please detail intended use. Note if vehicles will be repaired in the building, if building is for personal or business use, etc.)

<b>Signature:</b> _____	<b>Date:</b> _____
<p><small>* I declare that I am the owner of this property, and I will notify PBI of any email changes if applicable.</small></p> <p><small>* Please note that failure to receive an emailed report or related documents does not release the property owner (s) from their responsibility to comply in all regards with the building standards (Saskatchewan Construction Code Act, Municipal Building Bylaws, and National Building Code of Canada).</small></p>	

## Residential Permit Information Form (PIF)

### Municipal Office Use Only

Municipality: _____ Development Approved: <input type="checkbox"/> Yes <input type="checkbox"/> No Geotech Required: <input type="checkbox"/> Yes <input type="checkbox"/> No Municipal Official: _____	Date: _____ PBI Number: 23- _____ Permit Expiry Date: _____ Signature: _____
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### Information Below To Be Completed By The Applicant

#### Contact & Email Consent

Building Owner: _____ Mailing Address: _____ Email Address Owner: _____	Home Phone: _____ Cell Phone: _____
Contractor: _____ Contact Person: _____ Email Address Contractor: _____	Business: _____ Cell Phone: _____
Signature: _____	Date: _____

\* I declare that I am the owner of this property, and I will notify PBI of any email changes if applicable.  
 \* By signing above, I consent to email delivery to all named above of PBI reports and related documents pertaining to this building permit.  
 \* Please note that failure to receive an emailed report or related documents does not release the property owner (s) from their responsibility to comply in all regards with the building standards (Saskatchewan Construction Code Act, Municipal Building Bylaws, and National Building Code of Canada).  
 \* **Note that owners should always include themselves on this form.**

#### Jobsite Location

Civic Address: _____ Legal Land Location: _____ or: _____ Description: _____ Subdivision / Landmark: _____	Lot(s) _____ Block _____ Plane No _____ Quarter Section _____ Township _____ Range _____ Meridian _____
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#### Project Details

<b>* Please fill in Sections 1a) plus 1b), or just Section 2)</b>	
1a)	<b>Single Family Dwelling</b> (Select One Permit Type That Best Describes the Dwelling) <input type="checkbox"/> New Home <input type="checkbox"/> RTM <input type="checkbox"/> Post-Move <input type="checkbox"/> Modular Home <input type="checkbox"/> Duplex Unit
1b)	<b>Select Below ALL that Pertain to this Permit AND are included with the plans submitted to PBI for Review:</b> <input type="checkbox"/> Basement Development <input type="checkbox"/> Deck <input type="checkbox"/> Attached Garage (Insulated) <input type="checkbox"/> Attached Garage (Not Insulated)
2)	<b>Residential Building Project</b> (Separate Permit is Required for Each Project type) <input type="checkbox"/> Addition <input type="checkbox"/> Attached Garage <input type="checkbox"/> Deck <input type="checkbox"/> Basement Development <input type="checkbox"/> Renovation <input type="checkbox"/> Roof Extension <input type="checkbox"/> Sunroom <input type="checkbox"/> Secondary Suite <input type="checkbox"/> Detached Garage <input type="checkbox"/> Accessory Building <input type="checkbox"/> Accessory Building w/Living <input type="checkbox"/> Pole Building <input type="checkbox"/> Boat House <input type="checkbox"/> New Foundation <input type="checkbox"/> Retaining Wall <input type="checkbox"/> Demolition

This document must be submitted to PBI by the municipal office



**Property Owner: Please complete, print, sign, and submit this form with your plan review documents.**

Municipality: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Jobsite Address: \_\_\_\_\_  
Project Details: \_\_\_\_\_  
Owner's Name: \_\_\_\_\_ Cell Ph: (306) \_\_\_\_\_  
Contractor Name: \_\_\_\_\_ Cell Ph: (306) \_\_\_\_\_

**Note:** Inspection reports and notices will be e-mailed to the municipal office soon after completion.

## E-MAIL CONSENT

Consent to the e-mail delivery of PBI inspection reports and related documents pertaining to this building permit is given to the following individuals/companies involved in the course of construction who will need to receive these reports:

<b>Title</b> (e.g. Owner, Contractor, Engineer)	<b>Individual's Name</b>	<b>E-mail Address</b>

Please note that failure to receive an e-mailed report or related document does not release the owner(s) from their responsibility to comply in all regards with the building standards (municipal bylaws, Saskatchewan Uniform Building and Accessibility Standards Act, and the National Building Code of Canada.)

I declare that I am authorized to complete this consent form and that I will notify PBI if there are any changes to the e-mail contacts listed above who are assigned permission to receive reports for this building permit.

Owner Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

## Accessory Building PBI Specifications

Box 517 Stn. Main  
White City, SK S4L5B1  
Ph: 306-536-1799  
Fax: 306-781-2112

(Includes Detached Garage & Boat House)

\* **NOTE: Pole Building** requires engineer-stamped designs for the building and its structural members (NBC A-9.23.1.1.)

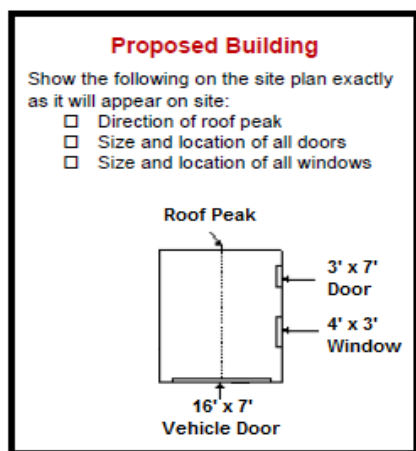
### Project Information

<b>Municipality:</b> _____  <b>Job Site Address:</b> _____  <b>Building Owner:</b> _____	<b>PBI Number:</b> 23- _____  <b>Project Type:</b> _____  <b>Cell Phone:</b> _____
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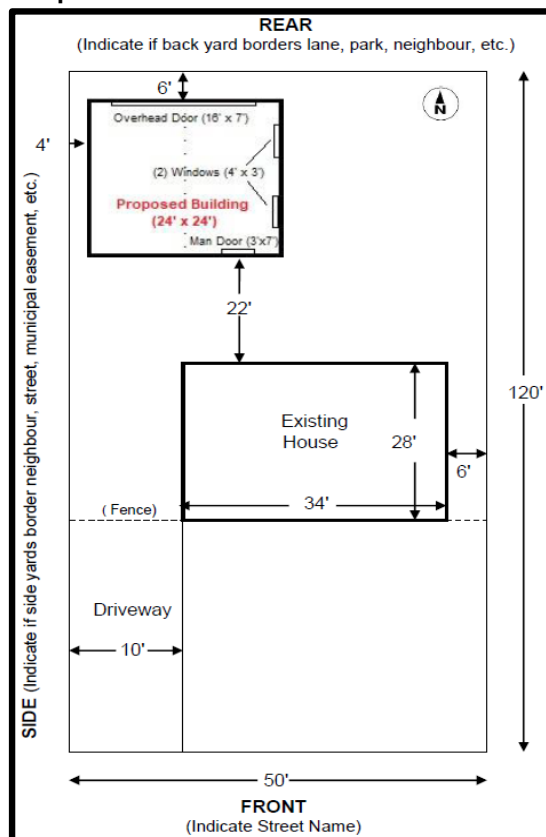
### 1) Provide a SITE PLAN sketch on a separate sheet and note the following:

- ☐ Draw the **property (lot) shape** (rectangular, pie-shape, etc.)
- ☐ Indicate **North** direction.
- ☐ Note the **lot dimensions** (indicate ft or m): Front/Rear (width) / Side Yard (length)
- ☐ Indicate the **type of building** (e.g. detached garage, accessory building, boat house, etc.)
- ☐ Label the **street or road name** in the front yard (primary access).
- ☐ Note **what borders the property** on **each side** (lane, neighbour, street, park, lake, etc.)
- ☐ Draw the **existing house** on the lot (to scale).
- ☐ Draw the **proposed building** on the lot (to scale). Show **stair detail**, if applicable.
- ☐ Note the building **dimensions** (indicate ft or m) - **Width** (rear facing) / **Length** (side facing)
- ☐ Note the **distance to the property lines** on **all sides** of the proposed building (indicate ft or m).
- ☐ Draw any **other buildings** on the same property (e.g. shed, etc.) and note their dimensions.
- ☐ Note the closest **distance** of the proposed building **to the house and other buildings** on the same property.
- ☐ Show the **location** of easements (state the width), retaining walls, lanes, driveways, etc.
- ☐ Show **direction of the roof peak** (using dotted line) for the proposed building ON THE SITE PLAN.
- ☐ Show **location and sizes of all doors and windows** for the proposed building ON THE SITE PLAN.

### Site Plan Example



Dimensions (width x height)



### \*\*\* Important:

- ☐ A plan review cannot be completed without a proper **Site Plan** submitted.
- ☐ If you have **Garage Package plans** from a supplier, please include a copy with your application.
- ☐ **Note the header/lintel size and no. of plies** for each door and window in the proposed building. This information can be recorded on the site plan.

Contact PBI at (306) 536-1799 if you have any questions.

## 2) Complete ALL information below regarding the proposed building:

### Building Dimensions (indicate feet or metres)

- ☐ **Width** (front/rear facing): \_\_\_\_\_  
☐ **Length** (side lot facing): \_\_\_\_\_  
☐ **Height** (grade to ridge/roof peak): \_\_\_\_\_  
☐ **Size** (in ft²): \_\_\_\_\_

### Engineered Roof Trusses by: (name of truss company)

- ☐ Name of truss company: \_\_\_\_\_  
☐ Rafters (supply design if not using roof trusses)

### Roof Truss or Rafter Spacing:

- ☐ 16" o.c.      ☐ 24" o.c.      ☐ Other: \_\_\_\_\_

### Roof Slope (Pitch): (e.g. 4/12)

- ☐ Pitch: \_\_\_\_\_

### Roof Sheathing Type & Thickness:

- ☐ OSB      ☐ Plywood      ☐ Other: \_\_\_\_\_  
☐ 3/8"      ☐ 7/16"      ☐ Other: \_\_\_\_\_

### Roofing Material / Shingles:

- ☐ Asphalt      ☐ Metal      ☐ Other: \_\_\_\_\_

### Roof Overhang Width:

- ☐ 12"      ☐ 24"      ☐ Other: \_\_\_\_\_

### Foundation:

- ☐ Piles & Grade Beam (Engineer-stamped foundation designs are required)  
☐ Concrete Slab Floor (Dimensions): \_\_\_\_\_ (W x L)  
☐ Concrete Slab Thickness (Edge): \_\_\_\_\_ (inches)  
☐ Concrete Slab Thickness (Interior): \_\_\_\_\_ (inches)

(NOTE: Thickened edge concrete slab is required if floor area is  $\geq 55 \text{ m}^2$  (592 ft²).

Engineer-stamped foundation designs are required for bldgs > 1,200 ft² or 1 storey.

- ☐ Other Foundation Type: \_\_\_\_\_

### Number of Storeys:

- ☐ One      ☐ Loft      ☐ Two  
 Access to 2nd level: ☐ Ladder      ☐ Staircase

### Wall Height: (Tall wall Eng design if exceeds NBC Table 9.23.10.1)

Foundation to Top Plate (note ft or m): \_\_\_\_\_

### Wall Stud Size

- ☐ 2" x 4"      ☐ @ 16" o.c.  
☐ 2" x 6"      ☐ @ 24" o.c.  
☐ \_\_\_\_\_      ☐ \_\_\_\_\_

### Wall Sheathing Thickness & Cladding Type:

- ☐ 3/8"      ☐ 7/16"      ☐ \_\_\_\_\_  
☐ Vinyl Siding      ☐ Stucco      ☐ \_\_\_\_\_

### Wall Anchor Size & Spacing:

- ☐ 1/2" bolts      ☐ @ 8' o.c. (maximum allowed)  
☐ \_\_\_\_\_      ☐ \_\_\_\_\_ (if differs from above)

### Overhead Doors: (Note size for each) (W" x H")

1 \_\_\_\_\_ 2 \_\_\_\_\_ 3 \_\_\_\_\_

### Header Size:

- ☐ 2" x 10"      ☐ 2 ply      ☐ LVL (eng-stamp)  
☐ 2" x 12"      ☐ 3 ply      ☐ \_\_\_\_\_

### No. of Plies: (for Overhead Door(s))

### Windows: (Note size for each) (W" x H")

1 \_\_\_\_\_ 2 \_\_\_\_\_ 3 \_\_\_\_\_

Note window header size and # of plies: \_\_\_\_\_

### Will the building be insulated? (If yes, note type)

- ☐ No      ☐ Yes      ☐ Spray Foam  
☐ Batt      ☐ Foam Board      ☐ \_\_\_\_\_

### Heating Source? (If yes, note type)

- ☐ Gas Furnace      ☐ In-Floor Heat      ☐ None

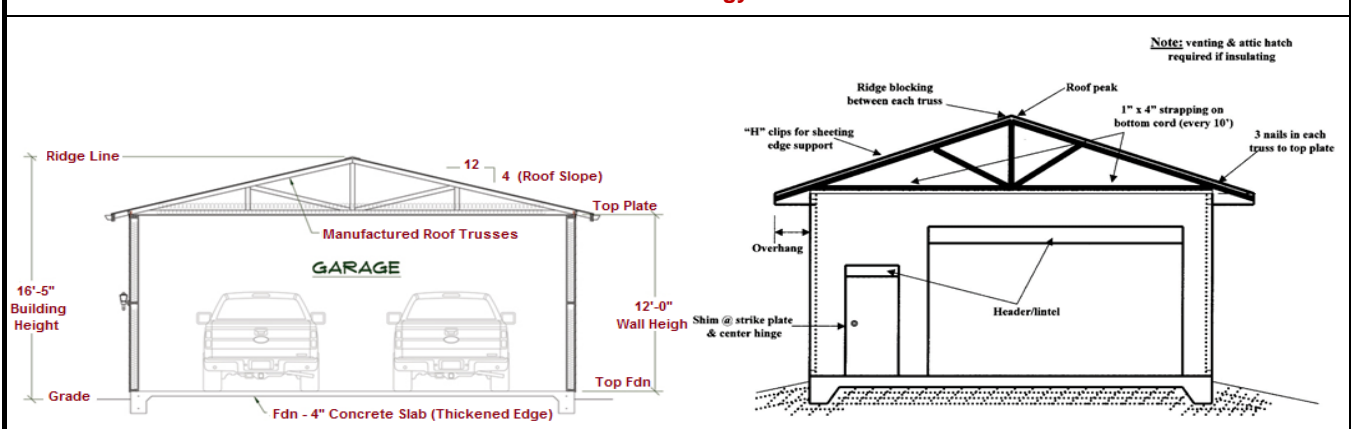
### Will there be sleeping rooms in the building?

- ☐ No      ☐ Yes (# of occupants): \_\_\_\_\_

### Will there be a bathroom in the building?

- ☐ No      ☐ Yes (2 piece)      ☐ Yes (3 piece)

## Terminology



# Site Plan

**Detailed Site Plan** is vital information for a plan review.  
There will be delays if you do not provide the following:

- Show the size and correct placement of the proposed building on the lot.
- Show distance to the property line on all sides of the proposed building project.
- Indicate what borders each property line (i.e. neighbour, street, lane, park, easement, etc.)
- Note the size and location of all windows and doors on each side of the proposed building.
- Indicate the distance to other buildings on the same property and note the size and current use of each existing building.

FORM A

## TOWN OF BALGONIE

## APPLICATION FOR BUILDING PERMIT

I hereby make application for a permit to \_\_\_\_\_ construct \_\_\_\_\_ alter or \_\_\_\_\_ reconstruct a building according to the information below and to the plans and documents attached to this application.

Civic address or location of work \_\_\_\_\_  
 Legal description - Lot \_\_\_\_\_, Block \_\_\_\_\_, Plan \_\_\_\_\_  
 Owner \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_  
 Designer \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_  
 Contractor \_\_\_\_\_ Address \_\_\_\_\_, Telephone \_\_\_\_\_  
 Nature of work \_\_\_\_\_  
 Intended use of building \_\_\_\_\_  
 Size of building \_\_\_\_\_, Length \_\_\_\_\_, Width \_\_\_\_\_, Height \_\_\_\_\_  
 Storeys – No. \_\_\_\_\_ Fire Escapes \_\_\_\_\_  
 If public building, state width of stairways \_\_\_\_\_ No. \_\_\_\_\_  
 Width of exits \_\_\_\_\_ No. \_\_\_\_\_

Foundation Soil Classification and Type \_\_\_\_\_

## Construction details:

Footings _____	Material _____	Size _____
Foundations _____	Material _____	Size _____
Exterior Walls _____	Material _____	Size _____
Roof _____	Material _____	Size _____
Studding _____	Material _____	Spacing _____
Floor Joists _____	Material _____	Spacing _____
Girders _____	Material _____	Spacing _____
Rafters _____	Material _____	Spacing _____
Chimneys _____	No. _____	Size _____
Material _____	Thickness _____	
Heating _____	Lighting _____	Plumbing _____

Estimated cost of construction (excluding site) \$ \_\_\_\_\_ **(must be filled in)**

Building area (area of largest storey) \_\_\_\_\_ square metres/feet

Fee for building permit \$ \_\_\_\_\_

I hereby agree to comply with the Building Bylaw of the municipality respecting building and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw of the municipality and applicable Acts and regulations regardless of any review of drawings or inspections that may or may not be carried out the municipality or its authorized representative.

\_\_\_\_\_  
Signature of Owner or Agent

\_\_\_\_\_  
Print Name of Owner or Agent

\_\_\_\_\_  
Date



## APPENDIX TO FORM "A"

### **Documents required for Residential Building Permit:**

1. Three complete sets of Plans and Specifications including, but not limited to:
  - a. Floor plan,
  - b. Sections,
  - c. Engineer stamped foundation and truss designs,
  - d. Exterior elevations,
  - e. Heating plan.
2. Site plot plan showing required front, back and side yards.
3. Any other plans, documents and specifications that may be required by the local authority or its representative.

### **Documents required for All Other Buildings Building Permit:**

1. Three complete sets of Plans and Specifications stamped by:
  - a. Mechanical Engineers,
  - b. Electrical Engineers,
  - c. Structural Engineer or Architect.
2. Inspection reports shall be submitted by the above Engineers to the local authority or its representative within 14 days of the inspections.
3. Certificate of Design Compliance shall be submitted to the local authority or its representative by the above Engineers prior to occupancy or the Building.
4. Any other documents including, but not limited to, legal surveys, plot plans, shop drawings, Fire Chief's approval or others may be required in support of the Building Permit Application or at any time during construction.

### **Requirements for Notice of Inspection:**

The contractor and/or owner shall provide notice to the local authority or its representative, for inspection, at least two working date in advance for each of the following states of construction:

- 1) Prior to any excavation or start of construction.
- 2) Connection of water/sewer – open trench.
- 3) Completion of Foundation prior to backfill.
- 4) Completion of vapor barrier prior to any wall covering.
- 5) Final completion of project less any seasonal work prior to occupancy of the buildings.

### **Waiver of Requirements:**

The local authority may, at its discretion, waive any or all of above requirements.

**5.6 Residential District – R1****R1**

No person shall within any Residential District – R1 use any land or erect, alter or use any building or structure, except in accordance with the following provisions:

**5.6.1 Permitted Uses**

- a) One single detached dwelling.
- b) Child daycare.
- c) Adult daycare.
- d) Uses, buildings and structures accessory to the foregoing permitted uses and located on the same site with the main use.

**5.6.2 Discretionary Uses**

The following uses may be permitted in the R1-Residential District only by resolution of Council and only in locations specified by Council:

- a) Dwelling Group.
- b) Semi Detached and Duplex dwellings.
- c) RTM's and Modular homes.
- d) Secondary Suites.
- e) Home occupations.
- f) Bed and Breakfast homes.
- g) Residential Care Facility.

**5.6.3 Site Development Regulations****Single Detached Dwelling**

Minimum site area	<del>657.0 m<sup>2</sup> (7,072.12 ft<sup>2</sup>)</del> <b>amended by 397/2017</b> 450 m <sup>2</sup> (4,843.76 ft <sup>2</sup> )
Minimum site frontage	<del>18.0 metres</del> <b>amended by 389/2016</b> 15.0 metres (49.22 feet) for rectangular lots. 11.0 metres (36.09 feet) for non-rectangular lots
Minimum front yard	6.0 metres (19.69 feet)
Minimum rear yard	6 metres (19.69 feet)
Minimum side yard	<del>2.0 metres (6.57 feet) unless on a corner site, the side yard shall be 3.0 metres (9.85 feet). 1.83 metres (6.0 feet) for infill lots.</del> <b>1.2 metres (3.94 feet)</b>
Minimum floor area	75 m <sup>2</sup> (807.32 ft <sup>2</sup> )
Height	11.0 metres (36.09 feet) and 5 metres (16.41 feet) for accessory
Maximum site coverage	50% - includes all buildings
Minimum parking spaces	2

**Semi Detached – Duplex Dwellings (per Unit)**

Minimum site area	185.0 sqm (1,991.32 sq ft)
Minimum site frontage	11.0 m (36.09 ft)
Minimum front yard	6.0 m (19.69 ft)
Minimum rear yard	6.0 m (19.69 ft)
Minimum side yard	1.2 m (3.94 ft), except the side yard setback shall be 0 m between adjoining units, and 3.0 m (9.85 ft) for units on a corner lot
Minimum floor area	75 sqm (807. 32 sq. ft.)
Height	8.5 m (27.89 ft) and 5 m (16.41 ft) for accessory buildings
Maximum site coverage	50%
Minimum parking spaces	2

Amended by 432/2022 and 436/2022

**436/2022**

a) An accessory building shall not have a building footprint greater than 200 square metres (2,153 square feet) and shall not exceed 7.5 metres (24.61 feet) in height from grade level.

- a) ~~No accessory building shall be greater than 85 m<sup>2</sup> (914.97 ft<sup>2</sup>)~~
- b) All accessory buildings shall be set back a minimum of 8.0 metres (26.25 feet) from the front site line, 2.0 metres (6.57 feet) from the principal building, and 0.8 metres ( 2.63 feet) from the side site line unless the side site line is an abutting street then the side yard shall be 3.6 metres 11.82 feet).
- c) All accessory building shall be a minimum of 1 metre (3.28 feet) from any other accessory building.
- d) All accessory buildings shall be located a minimum of 0.8 metres (2.63 feet) from the rear site line except where an accessory building has a door or doors opening onto a lane then it shall not be located less than 1.2 metres (3.94 feet) from the site line abutting the lane.
- e) Free standing gazebos shall be allowed.
- f) All activities related to artisan studios, crafts and workshops shall be conducted within an enclosed building. No exterior storage of materials, goods, or waste products is permitted, except within a waste disposal bin for collection.

**5.6.5 Signage**

- a) One permanent sign is permitted per site.
- b) In the case of a home occupation, an additional permanent sign is permitted in a window of a dwelling.
- c) The facial area of a sign shall not exceed 0.5 m<sup>2</sup> (5.39 ft<sup>2</sup>).
- d) No sign shall be located in any manner that may obstruct or jeopardize the safety of the public.
- e) Temporary signs not exceeding 1.0 m<sup>2</sup> (10.77 ft<sup>2</sup>) advertising the sale or lease of the property or other information relating to a temporary condition affecting the property are permitted.

**5.6.6 Landscaping for Multi-Family Development**

- a) Areas not occupied by buildings, parking or loading areas, shall be landscaped with trees, shrubs, grasses, rock pavers and/or other similar materials.
- b) All landscaping shall be maintained in a neat and tidy condition.
- c) The Development Officer shall not approve an application for a development permit unless:
  - i. A landscape plan has been submitted; and
  - ii. The landscape plan provides, in the opinion of the Development Officer, appropriate soft or hard landscape features to enhance the visual amenity of the site and provide for adequate visual screening, if necessary.

**5.6.7 Secondary Suites**

- a) Secondary suites may be constructed within a principal, single detached dwelling in a residential zone. Only one secondary suite is permitted on each residential site.
- b) Secondary suites must be located within the principal dwelling and must have a separate entrance from the principal dwelling either from a common indoor landing or directly from the exterior of the building. Secondary suites must contain cooking, eating, living, sleeping, and sanitary facilities.
- c) Secondary suites may not exceed 35% of the total floor space, including basements, and may not have more than two bedrooms.

NBC supercedes  
Bylaw for % of total  
floor space.

**5.6.8 Residential Parking**

- a) Where the parking area for all development is accessed from a street, the parking area, including the driveway, shall have a durable, dust-free hard surface of asphalt, concrete, brick or other similar material excluding gravel or slag.
- b) No parking of any class A or C motor home, any travel trailer, fifth wheel trailer, boat or any similar vehicle shall be permitted in any front or side yard of a residence from November 1 to April 1, inclusive.
- c) Where recreational vehicle parking is provided for a detached dwelling unit during the period of April 1 to November 1, inclusive, the number of recreational vehicles shall not exceed two.
- d) Recreational vehicles may be parked in the front, rear or side yards on a drive way on residential sites from April 1 to November 1 inclusive, provided the vehicle is not within 2 metres (6.57 feet) of the outside edge of the curb.

382/2015  
amendment